



Bylaw No. 504-2001

PAGE 1

Code 06/05

A BY-LAW OF THE CITY OF LEDUC IN THE PROVINCE OF ALBERTA, TO AMEND BYLAW 381-96 TO ADOPT THE AREA STRUCTURE PLAN SOUTHEAST ¼ SECTION 25, TOWNSHIP 49, RANGE 25, WEST OF THE 4TH MERIDIAN

WHEREAS, Section 633 of the Municipal Government Act, S.A. 1994, C. M-26-1, enables a Municipal Council to adopt by Bylaw an Area Structure Plan for the purpose of providing a framework for subsequent subdivision and development of an area of land in a municipality;

WHEREAS, Bylaw 381-96 to adopt the Area Structure Plan for the Southeast Quarter Section 25, Township 49, Range 25, West of the 4th Meridian was passed by Council January 13, 1997 and subsequently amended by Council on February 14, 2000;

WHEREAS, the Council has deemed it expedient and necessary to amend Bylaw 381-96. Notice of intention to pass this Bylaw has been given and a Public Hearing held in accordance with the provisions of the Municipal Government Act, S.A. 1994, C. M-26-1, as amended;

THEREFORE, the Council of the City of Leduc in the Province of Alberta duly assembled, hereby enacts as follows:

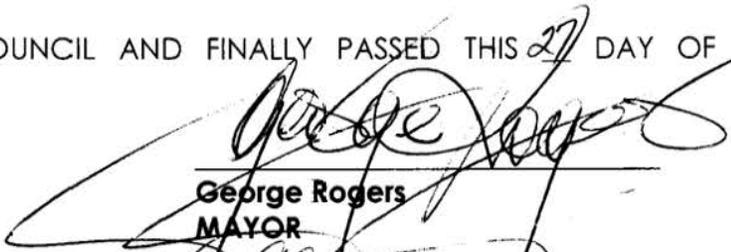
That Bylaw 381-96 be amended as per the document attached hereto as Schedule A.

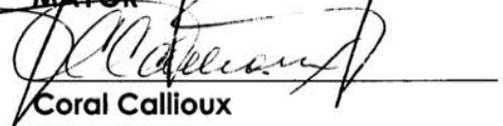
This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS 9 DAY OF JULY , AD 2001.

READ A SECOND TIME IN COUNCIL THIS 27 DAY OF August AD 2001.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS 27 DAY OF August, AD 2001.


George Rogers
MAYOR


Coral Callioux
CITY CLERK

AUG. 31. 2001
Date Signed

BYLAW 504-2001

SCHEDULE A
(as amended)

SE 25 – 49 – 25 – W4

AREA STRUCTURE PLAN

AMENDMENT

City of Leduc

**Prepared by: Scheffer Andrew Ltd.
For: Melcor Developments Ltd.**

June 2001

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Background

The current SE 25-49-25-4 Area Structure Plan (ASP), as shown in Figure 1, was approved as Bylaw 381-96 on January 13, 1997. The ASP anticipated that residential and commercial development would commence in the southwest of the plan area and progress to the north and east as dictated by market demand and servicing availability.

There has been one amendment since the original approval. Bylaw 461-2000, passed on February 14, 2000 altered the commercial and park areas in the southeast portion of the ASP area. The commercial and Park area directly south of the existing campground was changed to Campground to accommodate the potential expansion of the campground.

Purpose

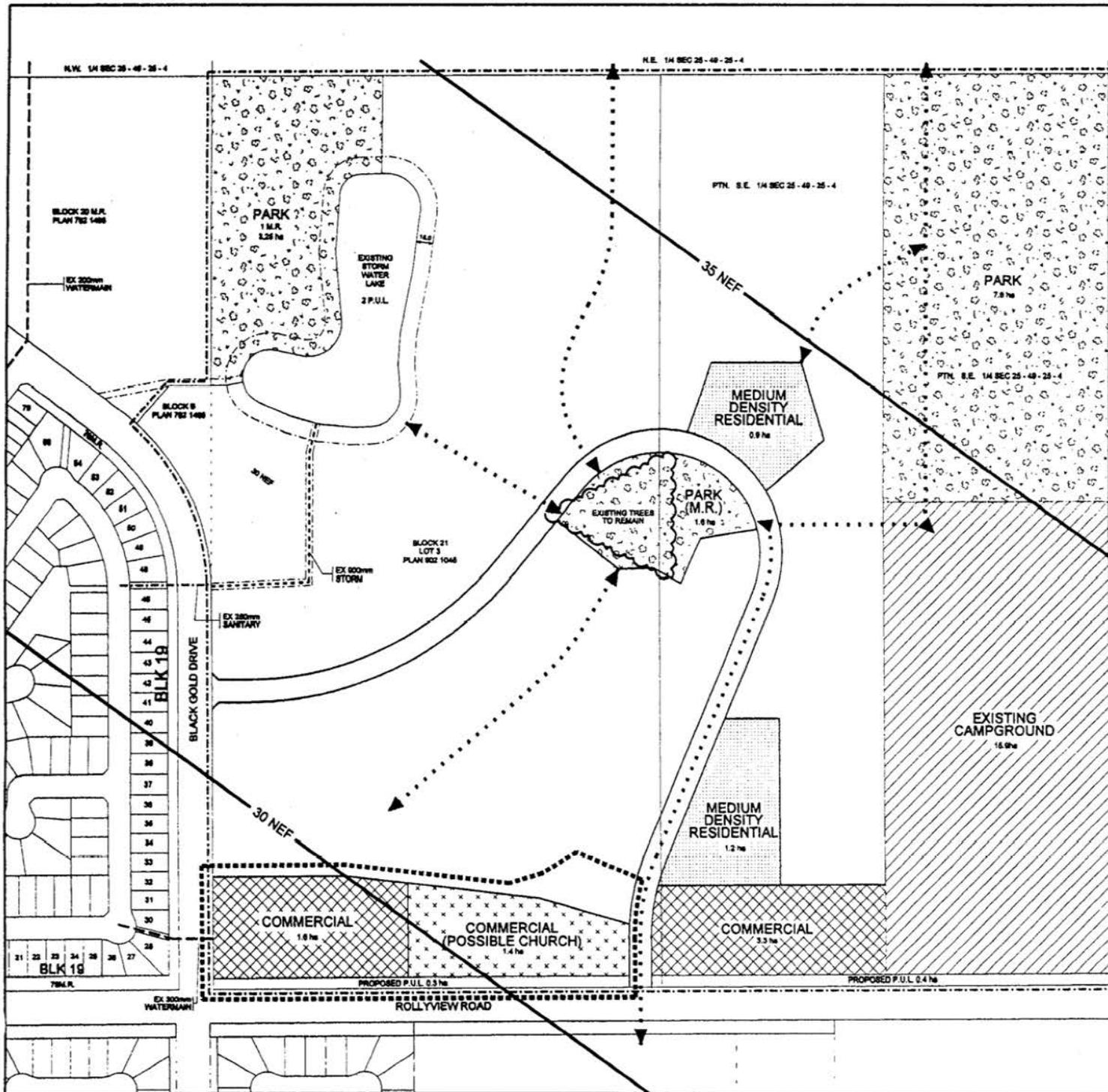
The proposed amendment is shown in Figure 2. It will create a medium density residential site along Rollyview Road and will reconfigure the commercial site currently proposed for this southern portion of the area structure plan. The "Commercial (Possible Church)" site will be reconfigured and slightly reduced in area.

Noise Exposure Forecast Contours

The 30 NEF contour passes through the plan amendment area. All lands to the northeast of the 30 NEF contour, as shown in Figure 1, are subject to restrictions on residential development. The area southwest of the 30 NEF contour, however, can be developed for residential use. The majority of the proposed medium density residential site lies southwest of the 30 NEF contour. Specific controls can be placed on the residential site to prevent the development of a residential building on that portion that is subject to the noise exposure forecast restrictions. That portion of the site can be developed for a combination of parking and/or open space/landscaping.

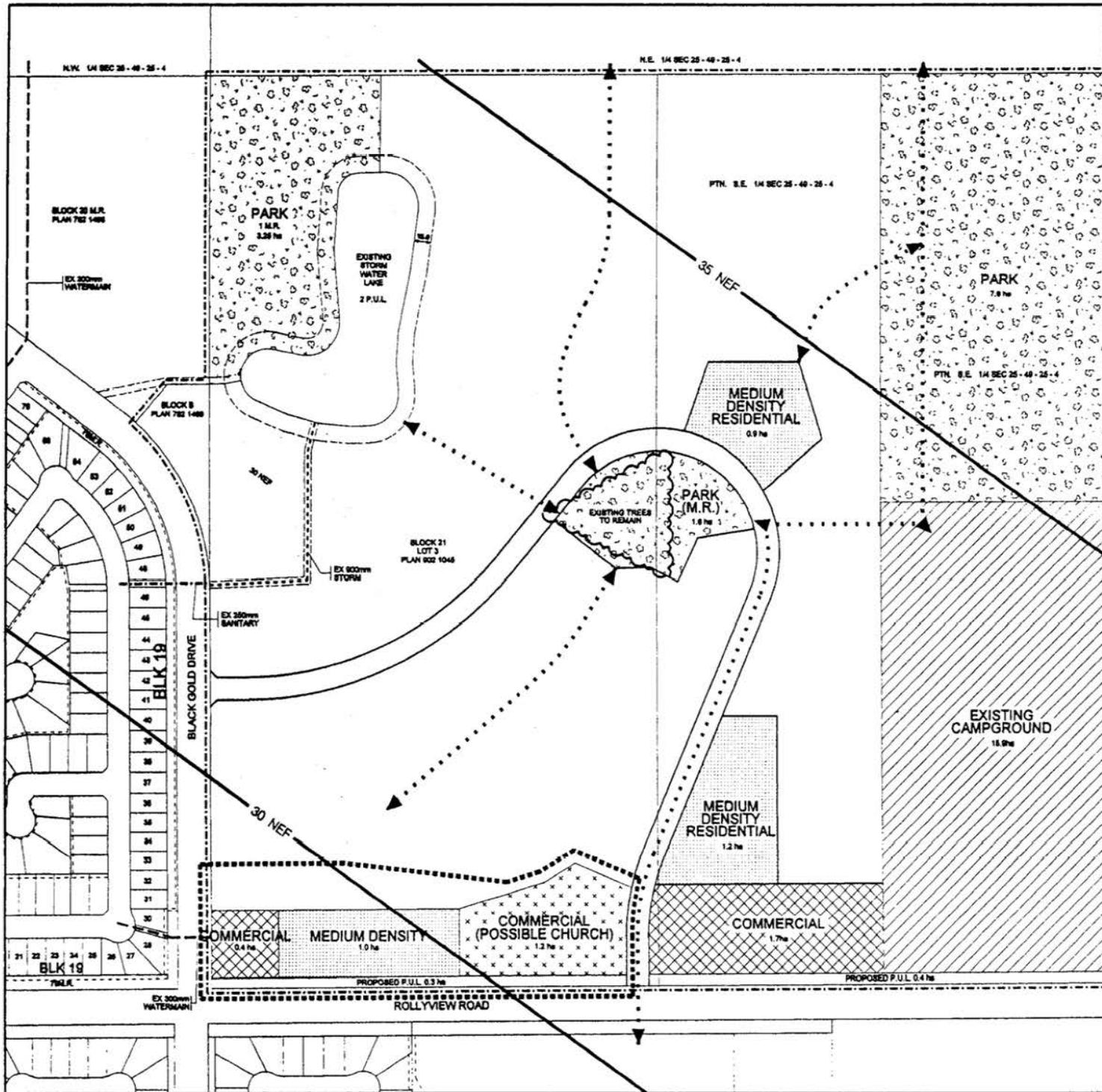
Access

Rollyview Road is presently a four lane undivided arterial road, but is ultimately planned to become a four lane divided arterial. Given the significance of the Rollyview Road arterial, and the levels of traffic it is expected to carry, the City of Leduc prefers to keep the number of all-directional accesses to a minimum. It is therefore proposed that accesses be provided at either end of the residential site. These would be shared with the commercial site on the west and the "Commercial (Possible Church)" site on the east. These accesses should also be placed, as suggested in the current ASP, opposite existing accesses on the south side of Rollyview Road if possible.



-  SINGLE FAMILY
-  MEDIUM DENSITY RESIDENTIAL
-  COMMERCIAL
-  COMMERCIAL (POSSIBLE CHURCH)
-  MUNICIPAL RESERVE
-  OPEN SPACE
-  PEDESTRIAN ROUTES
-  NEF CONTOUR
-  RESIDENTIAL DEVELOPMENT RESTRICTED
-  AMENDMENT BOUNDARY

Area Structure Plan
SE 25-49-25-4
FIGURE 1
APPROVED
DEVELOPMENT CONCEPT



-  SINGLE FAMILY
-  MEDIUM DENSITY RESIDENTIAL
-  COMMERCIAL
-  COMMERCIAL (POSSIBLE CHURCH)
-  MUNICIPAL RESERVE
-  OPEN SPACE
-  PEDESTRIAN ROUTES
-  NEF CONTOUR
-  RESIDENTIAL DEVELOPMENT RESTRICTED
-  AMENDMENT BOUNDARY

Area Structure Plan
SE 25-29-25-4

FIGURE 2
AMENDED
DEVELOPMENT CONCEPT

Land use

Tables 1&2A and 1&2B show the current approved ASP land use and demographic statistics and those associated with this amendment respectively. This amendment changes the overall density of the ASP area from 28.6 persons per gross hectare to 30.9 persons per gross hectare. The area designated for commercial use is reduced from 2.9 hectares to 2.1 hectares, while the area of the "Commercial (Possible Church)" site is slightly increased to 1.4 hectares.

Table 1A Approved Land Use Statistics

	Hectares
Park, School, Open Space	4.85
Campground	15.89
Road (Estimated)	8.32
Stormwater Management Lake	2.53
Commercial	2.93
Commercial (Possible Church)	1.17
Residential	28.82
PUL	1.00
Gross Plan Area	65.50

Table 1B Amended Land Use Statistics

	Hectares
Park, School, Open Space	4.9
Campground	15.9
Road (Estimated)	8.3
Stormwater Management Lake	2.5
Commercial	2.1
Commercial (Possible Church)	1.4
Residential	29.7
PUL	0.7
Gross Plan Area	65.5

Table 2A Approved Population Statistics

Housing Type	Area (ha)	Units/ha	Units	% of Units	Pop./Unit	Population
Single Detached	26.7	19	507	82.2	3.2	1622
Row Housing	1.2	30	35	5.7	2.1	74
Apartments	0.9	83	72	11.7	2.1	151
Total	28.8		617			1847

Density: 28.6 persons/gross ha
64.3 persons/net ha
9.5 units/gross ha
21.4 units/net ha

Table 2B Amended Population Statistics

Housing Type	Area (ha)	Units/ha	Units	% of Units	Pop./Unit	Population
Single Detached	26.6	19	505	72.2	3.2	1616
Row Housing	1.2	30	36	5.2	2.1	76
Apartments	1.9	83	158	22.6	2.1	332
Total	29.7		699			2024

Density: 30.9 persons/gross ha
68.1 persons/net ha
10.6 units/gross ha
23.5 units/net ha

Rationale

The proposed amendment responds to market demand in the area and respects the restrictions imposed by the noise exposure forecast contours.

**Bylaw No. 461-2000**

PAGE 1

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A BY-LAW OF THE CITY OF LEDUC IN THE PROVINCE OF ALBERTA, TO AMEND BYLAW 381-96 TO ADOPT THE AREA STRUCTURE PLAN FOR THE SOUTHEAST QUARTER SECTION 25, TOWNSHIP 49, RANGE 25, WEST OF THE 4TH MERIDIAN

WHEREAS, Section 633 of the Municipal Government Act, S.A. 1994, C. M-26-1, enables a Municipal Council to adopt by Bylaw an Area Structure Plan for the purpose of providing a framework for subsequent subdivision and development of an area of land in a municipality;

WHEREAS, Bylaw 381-96 to adopt the Area Structure Plan for the Southeast Quarter Section 25, Township 49, Range 25, West of the 4th Meridian was passed by Council January 13, 1997;

WHEREAS, the Council has deemed it expedient and necessary to amend Bylaw 381-96. Notice of intention to pass this Bylaw has been given and a Public Hearing held in accordance with the provisions of the Municipal Government Act, S.A. 1994, C. M-26-1, as amended;

THEREFORE, the Council of the City of Leduc in the Province of Alberta duly assembled, hereby enacts as follows:

1. Page 1, Item 3.0, Second Paragraph:

That the paragraph be amended to read as follows:

"The east property line of a partially developed road allowance forms the east boundary of the plan area."

2. Page 3, Item 4.0, Third Paragraph:

That the paragraph be amended to read as follows:

"The City owned east 16 ha of the quarter is developed as a campground operated by the Leduc Lion's Club."

3. Page 4, Item 6.0, Second Paragraph on Page 4:

That the paragraph be amended to read as follows:

"The City of Leduc Land Use Bylaw #340-94 districts the west portion of the plan area U-R Urban Reserve and the remainder P-1 Recreational. Redistricting will be required for the implementation of this plan."

4. Page 5, Item 9.0, Second Paragraph:

That the paragraph be amended to read as follows:

"Existing uses, including the storm water lake, the municipal reserve parcel in the northwest, and the campground, will remain."

Bylaw No. 461-2000

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5. Figure 2 – Development Concept:
That the Concept Plan be replaced with Schedule A, attached to and forming part of this Bylaw.
6. Page 7, Item 13.0, Third Paragraph:
That the paragraph be deleted in its entirety.
7. Page 9, Table 1: Land Use:
That the Land Use calculations be replaced with the following:

Park, School, Open Space	4.85 ha
Campground	15.89 ha
Road	8.32 ha
Stormwater	2.53 ha
Commercial	2.93 ha
Commercial (possible church)	1.17 ha
Residential	28.82 ha
PUL	<u>1.00 ha</u>
Gross Plan Area	65.50 ha

8. Page 9, Table 2: Population:
That the Area of Housing Type be changed as follows:

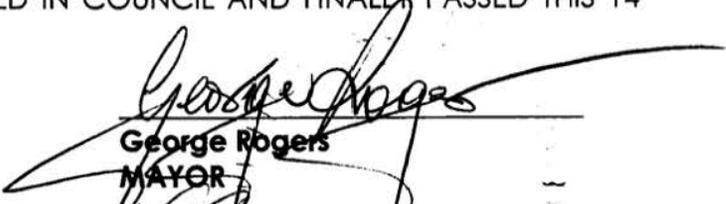
Single detached	26.72 ha
Total	28.22 ha.

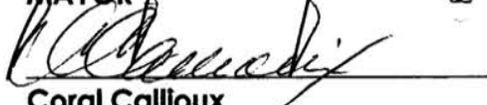
This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS 24 DAY OF JANUARY, AD 2000.

READ A SECOND TIME AS AMENDED IN COUNCIL THIS 14 DAY OF FEBRUARY, AD 2000.

READ A THIRD TIME AS AMENDED IN COUNCIL AND FINALLY PASSED THIS 14 DAY OF FEBRUARY, AD 2000.


George Rogers
MAYOR


Coral Callioux
CITY CLERK

11 FEB. 15 / 2000
Date Signed



BYLAW NO. 381-96

PAGE 1

CODE 06/05

A BYLAW OF THE CITY OF LEDUC TO ADOPT THE AREA STRUCTURE PLAN FOR THE
SOUTHEAST QUARTER SECTION 25, TOWNSHIP 49, RANGE 25, WEST OF THE 4TH MERIDIAN

WHEREAS, Section 633 of the Municipal Government Act, S.A. 1994, C. M-26-1, enables a Municipal Council to adopt by bylaw an Area Structure Plan for the purpose of providing a framework for subsequent subdivision and development of an area of land in a municipality;

WHEREAS, the Southeast Quarter Section 25, Township 49, Range 25, West of the 4th Meridian Area Structure Plan addresses the requirements of an Area Structure plan as outlined in Section 633(2) of the Municipal Government Act, S.A. 1994, C. M-26-1;

WHEREAS, notice of intention to pass this Bylaw has been given and a Public Hearing held in accordance with the provisions of the Municipal Government Act, S.A. 1994, C. M-26-1, as amended;

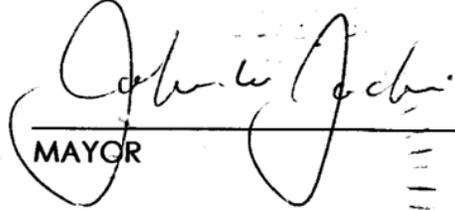
NOW THEREFORE, be it resolved that the Council of the City of Leduc in the Province of Alberta, duly assembled, hereby enact as follows:

1. This Bylaw should be cited as Southeast 1/4 Section 25-49-25-W4th Area Structure Plan Bylaw.
2. The Southeast 1/4 Section 25-49-25-W4th Area Structure Plan be attached hereto as Schedule A.
3. This Bylaw shall come into force and effect upon:
 - a) the date of the passing of the third and final reading and signing thereof, and
 - b) the Province specifying location of the 30 NEF as it transverses the southeast 1/4 Section 25-49-25-W4th.

READ A FIRST TIME IN COUNCIL THIS 25 DAY OF NOVEMBER, AD 1996.

READ A SECOND TIME IN COUNCIL THIS 13 DAY OF JANUARY AD 1997.

READ A THIRD TIME AND FINALLY PASSED IN COUNCIL THIS 13 DAY OF JANUARY
AD 1997.


MAYOR

Date Signed:

January 17th, 1997


CITY CLERK

PROPOSED AREA STRUCTURE PLAN

SE 25-49-25-4

CITY OF LEDUC

January 1997

COCHRANE ENGINEERING

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1.0 INTRODUCTION

This area structure plan was prepared to guide future redistricting, subdivision, and development in the SE ¼ 25-49-24-4, located northeast of the intersection of Black Gold Drive and Rollyview Road in the City of Leduc (see Figure 1).

A substantial portion of the quarter section is subject to development restrictions imposed through the Edmonton International Airport Vicinity Protection Area Regulations (AVPA). The 30 Noise Exposure Forecast (NEF) contour runs diagonally through the quarter, from northwest to southeast. For purposes of the preparation of this plan, it is assumed that it follows the alignment shown in the City's General Municipal Plan, as shown in Figure 2. Urban residential development is not permitted within the 30 NEF contour under the existing AVPA regulations. However, it is anticipated that changes in the operation of the airport, and in aircraft technology with respect to aircraft noise, may result, in time, in the realignment of the 30 NEF contour to the northeast. It is also possible that the AVPA regulations may be changed in the future. Either of these factors would ultimately allow development to occur in the remainder of the quarter section.

This plan provides for the immediate development of the southwest portion of the quarter for commercial purposes. It also provides for the potential extension of urban residential development to the northeast in anticipation of possible changes to the AVPA in the future.

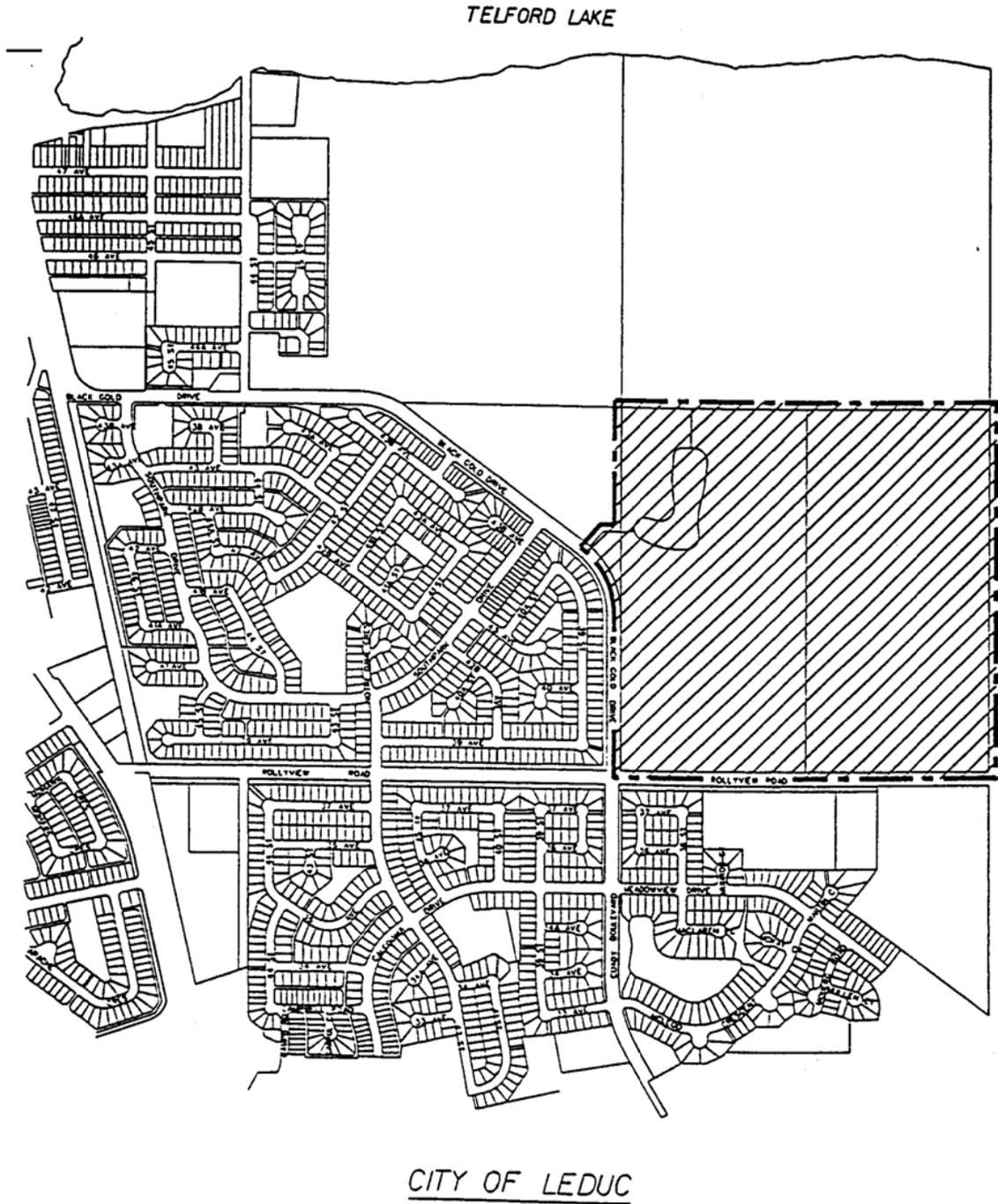
2.0 LAND OWNERSHIP

Melcor Developments Ltd. owns the western half of the quarter, less 3.25 ha of municipal reserve and a 1.83 ha public utility lot to accommodate a stormwater management lake in the northwest corner of the plan area. Melcor also owns Block B, Plan 782-1468 (0.5 ha) just southwest of the stormwater management lake. The reserve and public utility lots are owned by the City of Leduc, along with the easternmost 16 ha of the quarter. Legion Holdings Ltd. owns the remaining 16 ha.

3.0 ADJACENT DEVELOPMENT

To the north of the plan area is the William F. Lede Regional Park. Southwest of this park, and northwest of the plan area, is the Black Gold Centre.

The east property line of a partially developed road allowance forms the east boundary of the plan area. It also defines the City of Leduc municipal boundary. The land beyond is within the County of Leduc and is in agricultural use.



LOCATION PLAN

FIGURE 1

General residential development lies across Black Gold Drive to the west in South Park. The Caledonia Park residential neighbourhood exists to the south of the plan area across Rollyview Road. Further to the east, south of Rollyview Road, is Christ the King Junior/Senior High School. The land immediately east of the school is currently designated for "Alternative Industrial and Commercial Development" in the City's General Municipal Plan¹ (GMP).

4.0 EXISTING DEVELOPMENT

3.25 ha of municipal reserve land has been dedicated in the northwest corner of the quarter section to form part of the regional park/Black Gold Centre open space area.

Between the municipal reserve and the remainder of the quarter, a public utility lot has been dedicated to accommodate a storm water management facility intended to serve future development in the plan area.

The City owned east 16 ha of the quarter is partially developed as a campground operated by the Leduc Lion's Club. Although the campground currently occupies only approximately one third of the parcel, it is expected to expand in the future to occupy the majority of the lot.

The central 16 ha contains a residence near Rollyview Road. A farmstead is located just west of the center of the quarter section. Both are expected to be removed as urban development occurs.

5.0 NATURAL FEATURES

The subject land is quite flat. There is a natural drainage course from the general vicinity of the stormwater facility to the northeast corner of the quarter. Associated with this drainage course are several stands of trees consisting mainly of black poplar and brush typical of the region. While the tree stands are not regarded as unique or environmentally significant in a regional context, the City has expressed a desire to preserve major stands as an amenity.

6.0 PLAN CONTEXT

Figure 9 - City of Leduc Projected Residential Growth in the City's GMP designates the portion of the plan area which is not within the 30 NEF contour for residential development. The land northeast of the 30 NEF contour is designated, in Figure 12 - Future Parks Land Use, as park. Figure 8 - City of Leduc Future Commercial and Industrial Land Use in the GMP provides for a strip of commercial infilling along the north side of Rollyview Road.

¹Alberta's current planning legislation refers to such plans as "Municipal Development Plans". The term "General Municipal Plan" is used here to reflect the actual title of the relevant document.

This area structure plan acknowledges the possibility that changes to the AVPA will result in an expansion of the area available for residential development, and a corresponding reduction in the area to be added to the regional park.

The City of Leduc Land Use Bylaw #340-94 districts the west portion of the plan area U-R Urban Reserve and the remainder P-1 Recreational. Redistricting, including the conversion of some of the P-1 land to a commercial district, will be required for the implementation of this plan.

7.0 ACCESS

Collector road access will be available from Black Gold Drive and Rollyview Road as shown in Figure 2. Limited additional access, aligned opposite existing access points on the south side of Rollyview Road wherever possible, will be permitted to serve the non-residential development in the south portion of the plan area. In addition, one access to the commercial development will be permitted from Black Gold Drive, and access will be available from the internal collector.

The City wishes to encourage the provision of internal vehicular connections between the commercial lots along Rollyview Road.

The City's GMP indicates that the government road allowance east of the plan area may be developed to an arterial standard in the future. However, there is no requirement or intention to connect the proposed collector to the east at this time.

Figure 2 shows conceptual pedestrian routes which connect through the plan area to the City's Multiway pedestrian/bicycle trail system and to the open space features in and adjacent to the plan area.

8.0 UTILITY SERVICING

Storm water from the plan area will be drained to the storm water management lake in the northwest corner of the quarter. This facility discharges west to Black Gold Drive.

Sanitary sewers will connect to an existing 250 mm line draining west into South Park.

Municipal water is available from a 300 mm line at Black Gold Drive just north of Rollyview Road. Two options for looping exist in the form of a 200 mm line within the Christ the King School grounds to the south, and another 200 mm line northwest of the plan area at Black Gold Drive and South Park Drive.

These facilities are assumed to have adequate capacity to serve the plan area. They are shown in Figure 2.

9.0 PROPOSED LAND USE

The area is proposed for general residential land use. The majority of the plan area will be devoted to low density (single detached) housing. However, approximately 2 ha has been designated for medium density residential development (row housing and/or apartments).

Existing uses, including the storm water lake, the municipal reserve parcel in the northwest, and the campground, will remain. The land north and south of the campground (except the area designated for commercial development) will be developed in accordance with its current districting as shown in Figure 2.

Along the north side of Rollyview Road, Figure 2 shows a strip of commercial development, which may take the form of neighbourhood convenience commercial or, given its location on a major entrance to the City, of vehicle oriented commercial development.

This strip includes a possible church site. It has been identified in response to a specific expression of interest on the part of a potential purchaser. If this interest is not fulfilled, the site can be developed for commercial use (consistent with the GMP) without the need for an amendment to this area structure plan.

A substantial portion of the existing trees will be incorporated into a park site in the centre of the residential portion of the plan area. This tree stand will be visible from the collector road, and will be connected via local roads and walkways to the park area to the north and west, and to the campground to the east. Every effort should be made to incorporate the remaining trees into residential lots and/or pedestrian walkways, subject to drainage/grading considerations.

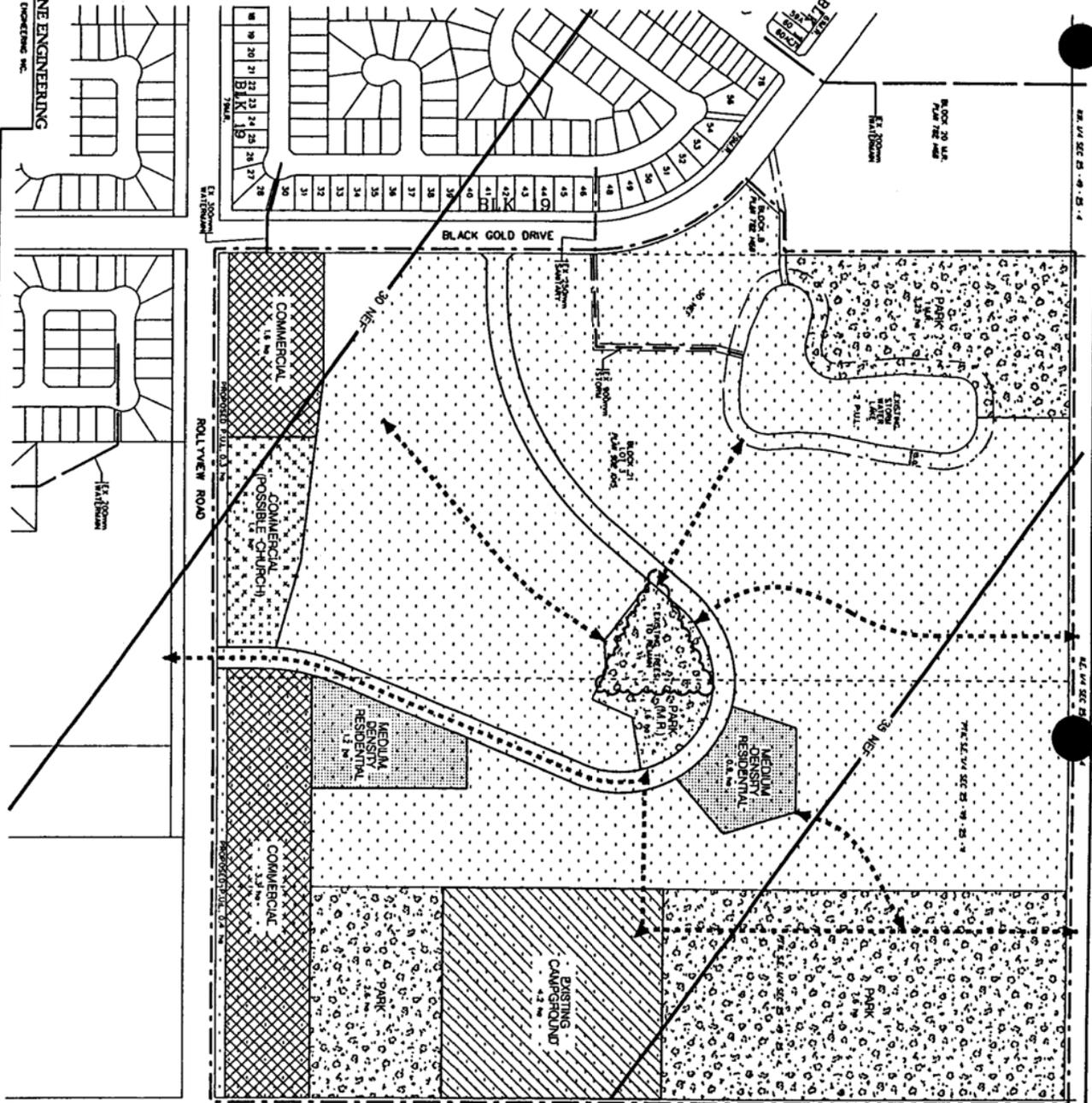
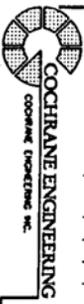
A breakdown of the areas devoted to each land use is provided in Table 1.

10.0 POPULATION

Table 2 shows the anticipated population capacity of the plan area, given the uses proposed. Table 3 shows the estimated student generation.

Single detached dwelling units constitute approximately 83% of the total, which is consistent with the GMP policy requiring a housing mix of roughly 80% single detached with 20% multiple.

The GMP also aims for an overall density of approximately 30 persons per gross ha. The gross density of the plan area is 28.6 persons per ha.



- SINGLE FAMILY
- MEDIUM DENSITY RESIDENTIAL
- COMMERCIAL
- COMMERCIAL (POSSIBLE CHURCH)
- MUNICIPAL RESERVE
- OPEN SPACE
- PEDESTRIAN ROUTES
- NEF CONTOUR
- RESIDENTIAL DEVELOPMENT RESTRICTED

DEVELOPMENT CONCEPT
FIGURE 2

REDUCED TO 0.64 TIMES ORIGINAL SIZE

20

11.0 COMMUNITY SERVICES

Commercial development to service the plan area will be available along the north side of Rollyview Road.

The area will be served by parks and open space to the north and within the plan area.

Public elementary and junior high school students are expected to attend Caledonia Park School. Public High School students will attend Leduc Composite High School in Corinthia Park. Separate elementary students will attend Notre Dame Elementary Catholic School in South Park. Separate junior and senior high school students will attend Christ the King Junior/Senior High School on Rollyview Road.

12.0 RESERVES

A 3.25 ha municipal reserve parcel exists in the northwest portion of the plan area, within what was formerly part of the west half of the SE ¼ 25-49-24-4. This reserve parcel was created under subdivision plan 902-1045 as a pre-dedication of reserves generated by the west 32 ha of the quarter. It was intended to become part of the open space associated with William F. Lede Regional Park and the Black Gold Center. As a result of this pre-dedication, the west half of the quarter section will generate no additional municipal reserve.

In addition, the east 16 ha of the quarter are already owned by the City and are intended for parks and recreational use. Consequently, no reserves will be generated from the eastern-most lot in the quarter.

Only the 16 ha between the City-owned lot and the west half of the quarter will generate reserve dedication. The 1.6 ha reserve will be dedicated in the form of land for the central park to preserve a portion of the tree stand. Any reserve requirements in excess of the 1.6 ha should be acquired by the City by means other than reserve dedication.

13.0 IMPLEMENTATION

It is anticipated that residential and commercial development will commence in the southwest of the plan area and progress to the north and east as market demand and servicing availability dictate. Development of the campground can proceed independent of development in the remainder of the plan area.

During development, the existing accesses to Rollyview Road must be closed as new accesses are provided in accordance with this plan.

The proposed commercial development in the southwest corner of the plan area is in conflict with the City's General Municipal Plan. The GMP must be amended prior to (or at the same time as) this plan to maintain consistency between the two documents.

W/C

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COCHRANE ENGINEERING

As has been noted, this plan assumes that changes to the AVPA regulations may allow for the extent of residential development proposed. Should this not occur, it is anticipated that the lands still restricted to non-residential use will be used as indicated in the current GMP.

Table 1: Land Use

	Hectares
Park, School, Open Space	15.1
Campground	4.2
Road (Estimated)	7.9
Stormwater Management Lake	2.4
Commercial	5.4
Commercial (Possible Church)	1.6
Residential	28.9
Gross Plan Area	65.5

Table 2: Population

Housing Type	Area ha	%	Units/ha	Units	%	Pop./Unit ¹	Population
Single Detached	26.9	93.0	19.0	511	82.7	3.2	1634
Row Housing ²	1.2	4.0	30.0	35	5.6	2.1	73
Apartments ²	0.9	3.0	83.0	72	11.7	2.1	151
TOTAL	28.9	100.0		617	100.0		1858

DENSITY:

28.6 persons/gross ha
 64.3 persons/net ha
 9.5 units/gross ha
 21.4 units/net ha

¹ Population per unit factors provided by City of Leduc Planning Department.

² The proportion of row housing units to apartments is assumed for the purpose of these calculations. Market conditions may dictate a different proportion when development actually occurs.

Table 3: Student Generation

	Students/Dwelling Unit	Student Population
Public Elementary	.26	160
Public Junior	.11	68
Public Senior	.10	62
Separate Elementary	.07	43
Separate Junior	.03	19
Separate High	.03	19

CC